

University of South Carolina  
South Tower Mechanical Renovation/Roof Replacement  
(Demolition)

H27-6082-FW-A

Swygert & Associates  
1315 State Street  
Cayce, SC 29033

February 14, 2013

**ADDENDUM NO. 1**

The following items shall take precedence over the drawings and specifications for the above named project and shall become a part of the contract documents. Where any item called for in the specifications, or indicated on the drawings, is not supplemented hereby, the original requirements shall remain in effect. Where any original item is amended, voided, or superseded hereby, the provisions of such item not specifically amended, voided or superseded shall remain in effect.

**General**

- | <u>Item No.</u> | <u>Description:</u>   |
|-----------------|---|
| 1.              | <u>Clarification:</u> Project scopes were discussed in the pre-bid meeting. There are two separate projects, one Demolition project, State Project Number H27-6082-FW-A and one Renovation project, State Project Number H27-6082-FW-B. There is a separate project manual for each project and there is a separate bid form in each project manual. Be sure the correct bid form is used for the project you submit a bid for.   |
| 2.              | <u>Clarification:</u> The two separate projects share the same set of plans for reference purposes. The plans indicate two separate Index to Drawings and reference the drawings included in that project scope. The project manual indicates the drawings that are included in that project scope as well. Each drawing indicates in the title block which project it refers to. Also the Demolition drawings H27-6082-FW-A are grouped together and the Renovation drawings H27-6082-FW-B are grouped together. |
| 3.              | <u>Clarification:</u> Furniture will be relocated prior to construction by USC under a separate contract.   |
| 4.              | <u>Clarification:</u> Mailed bids should be addressed to Juaquana Brookins. She can be reached at (803) 777-3596. Bid time for the Demolition project, State Project Number H27-6082-FW-A is Feb 21 at 2:00 PM. Bid time for the Renovation project, State Project Number H27-6082-FW-B is Feb 21 at 2:30 PM. Each project shall be in a separate sealed envelope, do NOT put bids for both projects in the same envelope.  |
| 5.              | <u>Clarification:</u> Both contractors will be working in the same building at the same time. The Demolition contractor is required to finish work in designated areas of the building to allow the Renovation contractor to begin his work. The Demolition contractor has staggered Substantial Completion dates as described in the scope of work and bid form.   |

**Drawings**

- | <u>Item No.</u> | <u>Description</u>   |
|-----------------|--|
| 6.              | <u>Revision:</u> Reference Drawing MD1.3A, Typical Floor Demolition Plan (Level 12-18) – Phase A. Refer to Demolition Note 4. Delete note and replace it with “Remove pipe complete from expansion tank on 18th Floor. Cap pipe on First Floor at connection to existing pipe to remain in service until Phase B.”   |
| 7.              | <u>Revision:</u> Reference Drawing MD1.01B, Ground Floor Demolition Plan – Phase B. Refer to Demolition Note 8. Delete this note and replace with “Remove fire dampers in floor and duct inside chase up to a height of 6’ above finished floor. Existing duct through the chase wall to remain. Existing sheet rock walls not to be disturbed.”   |
| 8.              | <u>Revision:</u> Drawing AB1.1 Phase A - Asbestos Abatement Plan – Typical Floors 11 thru 18. Revise drawing title to: Phase A - Asbestos Abatement Plan – Typical Floors 11 thru 17.  |
| 9.              | <u>Revision:</u> Drawings AB1.1 Phase A - Asbestos Abatement Plan – Typical Floors 11 thru 18 and AB2.0 Phase A - Asbestos Abatement Plan – Typical Floors 2 thru 11. Add the following note: #9 - Contractor shall paint the exposed underside of concrete slab ceiling from the new edge of the existing sprayed ceiling texture that remains in place to a line 12 inches past the new edge. Contractor shall use the following paint system in a color (white) to match the existing ceiling: First Coat: Sherwin-Williams Harmony Low Odor Interior Latex Primer, B11W900 (4 mils wet, 1.3 mils dry per coat). Second and Third Coats: Sherwin-Williams Harmony Low Odor Interior Latex Flat, B5 Series (4 mils wet, 1.6 mils dry per coat). Contractor shall install one mock-up of painting the ceiling for review by the Owner prior to painting all the ceilings. |
| 10.             | <u>Revision:</u> See attached Drawing AB1.2 Phase A - Asbestos Abatement Plan – 18th Floor. This drawing shows demolition for soffits around the entire perimeter on the 18th Floor.   |

END OF ADDENDUM NO. 1

Attachments:

Pre-Bid Meeting Sign In Sheet  
AB1.2 - Phase A 18th Floor.pdf



University of South Carolina  
Columbia, South Carolina

Pre Bid for South Tower Mechanical Renovations/Roof Replacement H27-6082-FW-A &  
H27-6082-FW-B  
February 7, 2013 @ 10 am

ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

MARION GUNTER

THOMPSON TURNER CONST. CO. INC.  
100 N. MAIN ST.  
SUMTER, S.C. 29150  
PHONE# 803.773.8005  
FAX# 803.938.8619  
EMAIL MGUNTER@THOMPSONIND.COM

GLYNN ELLEN

FEMME CONSULTANTS  
2112 DEVINE ST.  
COLUMBIA, SC. 29205  
PHONE# (803) 254-4540  
FAX# (803) 254-4542  
EMAIL glynn@fmecon.com

STEVE LAYNE

GARVIN DESIGN GROUP  
1209 LINCOLN STREET  
COLA. SC 29202  
PHONE# 803.212.1032  
FAX# 803.212.1074  
EMAIL slayne@garvindesigngroup.com

Juaquana Brooks

USC  
Procurement  
PHONE# 771-3596  
FAX#  
EMAIL jbrooken@tmc.sc.edu

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Columbia, South Carolina

Pre Bid for South Tower Mechanical Renovations/Roof Replacement H27-6082-FW-A &  
H27-6082-FW-B  
February 7, 2013 @ 10 am

ATTENDEE'S NAME	COMPANY NAME & MAILING ADDRESS
<u>Ray Boyle</u>	<u>Walker White</u> <u>5729 Shakespeare Rd</u> <u>Columbia SC 29223</u> PHONE# <u>513-7904</u> FAX# _____ EMAIL _____
<u>Keith Whigham</u>	<u>PEACH STATE ROOFING</u> <u>260 CHAD WILLES RD. ROCK HILL, SC</u> <u>29730</u> PHONE# <u>803-818-1626 / 803-980-0444</u> FAX# <u>803-980-0453</u> EMAIL <u>KWHIGHAM@PEACHSTATEINC.COM</u>
<u>Swain Miles</u>	<u>ROOFCO INC</u> <u>4345 N. AKO Rd SUMNER SC, 29150</u> PHONE# <u>803 775 8560</u> FAX# <u>803 775 0979</u> EMAIL <u>Roofco@SC.RR.com</u>
<u>Thomas Murphy</u>	<u>m+m Electrical Co. of Westco</u> PHONE# <u>803-356-8977</u> FAX# _____ EMAIL <u>Tmurphy22@SC.RR.COM</u>

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ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

Donnie Guter

Cullum Const. Inc.  
3325 Pacific Ave Charleston, SC

PHONE# 843-554-6695

FAX# 843-742-9969

EMAIL Goudin J@Culluminc.com

Wallace Wiggins

TQ CONSTRUCTORS

PHONE# 9126857950 912682-8882

FAX# 9126857951

EMAIL Wallace Wiggins@TQConstructors.net

Tim Perrill

Buchanan Construction Services Inc  
PO Box 6782 Columbia, SC 29260

PHONE# 803-695-2123

FAX# 803-695-2124

EMAIL DBuchanan@Buchanan  
Construction Services.com

Johnny Atkins

FORT RFG. SHEET METAL

PHONE# 803-773-9391

FAX# 803-773-7711

EMAIL J+ATKINS@SC.TWCB.COM

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ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

JUNIOR JONES

Waldrop Mechanical  
8345 Taylor-Colquitt Rd.  
Spantawburg, S.C.

PHONE# 864-529-1461

FAX# 864-578-3419

EMAIL jjones@waldropinc.com

James Blevins

Kickin Carolinas LLC

6A Herderson Way  
Columbia, SC 29212

PHONE# 803-732-3559

FAX# 803-732-3508

EMAIL jblevins@jklc.com

ANDREW ROGERSON

GARVIN DESIGN GROUP

1209 LINCOLN ST.  
COLUMBIA, SC 29202

PHONE# 803 212 1052

FAX#

EMAIL AROGERSON@GARVINDESIGNGROUP.COM

RICK FOLAN

WINTER ENVIRONMENTAL

PHONE# 404-556-2637

FAX# 404-223-6251

EMAIL Rfolan@WINTER-ENVIRONMENTAL.COM

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ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

Loyall Murphy

Gaki Mech Inc  
1559 Broad street  
Augusta, Ga

PHONE# 706-829-6653

FAX# 203-788-1395

EMAIL lmurphy@gakimech.com

Lee Hammerla

Hammer Construction

785 Hampton Creek Way  
Columbia, S.C. 29209

PHONE# 803-783-7033

FAX# 803-783-7035

EMAIL Lee@HammerConstructionCompany.com

JJ Newome

PHONE# 816-313-5497

FAX#

EMAIL jnewome@evanssheet.com

Mike Aiken

B+B Demolition

PHONE# 843-302-6406

FAX# 843-554-8409

EMAIL maiken3000@gmail.com

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ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

Don Buchanan

Asbestos & Demo

141 Cart Rd

ColA SC

PHONE# 803-333-9958

FAX# 333-2962

EMAIL DBuchanan@CarolinaWrecking.com

Billy Smith

Smith & Assoc. Inc.

597 Myers Rd

Summerville S.C. 29483

PHONE# 843-771-1730

FAX# " " 1146

EMAIL REEMSC@yahoo.com

David V.

White Crane Company, Inc

344 Augusta Rd  
W. Columbia SC

PHONE# 803-609-7706

FAX#

EMAIL dvyi.whitecrane@gmail.com

Jim Sherry

LSC Housals

PHONE# 777-5719

FAX#

EMAIL JSHERRY@MAILBOX.SC.EDU

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ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

*James Trammell*

AAK of NC, Inc.  
655 peddy cord Rd.  
Turnersville NC. 27284  
PHONE# 336-727-4534  
FAX# 336-727-4540  
EMAIL David @ AAK NC.com  
McCarter Mechanical Inc  
695 phm divided Rd  
Spartanburg SC 29303  
PHONE# 864 599 7883  
FAX# 864 599 7886  
EMAIL scott@mccartermechanical.com

*Kevin Mason*

PHONE# 843-357-1713  
FAX# 843-357-0053  
EMAIL info@arcincorporated.org  
Kevin@arcincorporated.org

PHONE#  
FAX#  
EMAIL

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ATTENDEE'S NAME	COMPANY NAME & MAILING ADDRESS
<u>Carmelo Rodriguez</u>	<u>ARC Inc &amp; MAS-Rod Inc</u> <u>1135 Burgess Rd / PO Box 1986</u> <u>Murrells Inlet, SC 29576</u> <u>PHONE# 843-357-1713</u> <u>FAX# 843-357-0053</u>
<u>Kenneth Fennell</u>	<u>EMAIL Carmelo@ARCIncorporated.org</u> <u>C.E. Bourne &amp; Co., INC.</u> <u>140 Industrial Dr.</u> <u>Greenwood, SC 29648</u> <u>PHONE# 864-223-0188</u> <u>FAX# 864-223-6516</u> <u>EMAIL Kenneth@cebournec.com</u>
<u>Anthony Reddish</u>	<u>W.B. Guimarin &amp; Co. Inc</u> <u>1124 Bluff Ind. Blvd Columbia, SC 29201</u> <u>PHONE# 239-2309</u> <u>FAX# 256-4806</u>
<u>John Farley</u>	<u>EMAIL areddish@wbguimarin.com</u> <u>Contract Construction Inc</u> <u>PO Box 269</u> <u>Beaufort, SC 29002</u> <u>PHONE# 781 7058</u> <u>FAX# 732 3064</u> <u>EMAIL jfarley@contractconstruction.net</u>

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ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

SAM White

WALKER WHITE INC

PHONE# 691-0525

FAX# 691-0943

EMAIL SWHITE@WALKER-WHITE.COM

JACK MITCHELL

PHONE# 691-0525

FAX# 691-0945

EMAIL JMITCHELL@WALKER-WHITE.COM

Roy DAILEY

NASCO (NATIVE AMERICAN SERVICES CORP)

PO BOX 7800, 14510 BRAINARD AVE

FORT GORDON, GA 30905

PHONE# 706-945-7083

FAX# 706-771-1741

EMAIL ROY.DAILEY@NASCOUSA.COM

FRED WALKER

OSE

PHONE# 803-737-0633

FAX#

EMAIL fwalker@mno.sc.gov

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ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

PETE FISHER

FACILITIES  
USC

PHONE# 777-9546

FAX#

EMAIL

Todd Swygart

Swygart + Assoc.

P.O. Box 11685

Columbia, SC 29211

PHONE# 803-791-9300

FAX# 803-791-0830

EMAIL Todd@swygart-associates.com

Carl Lowl

PHONE# 912 871 8771 / 912 871 8230

FAX# 912 681 4517

EMAIL Carl@NH5ACK.com

PHONE#

FAX#

EMAIL

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H27-6082-FW-B  
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ATTENDEE'S NAME

Gary Piontek

COMPANY NAME & MAILING ADDRESS

PC CONSTRUCTION OF GREENWOOD  
109 ENTERPRISE CT.  
GREENWOOD SC 29649  
PHONE# 864-223-6274 EXT 27  
FAX# 864-223-9183  
EMAIL ESTIMATING@PCCONST.NET

PHONE#

FAX#

EMAIL

PHONE#

FAX#

EMAIL

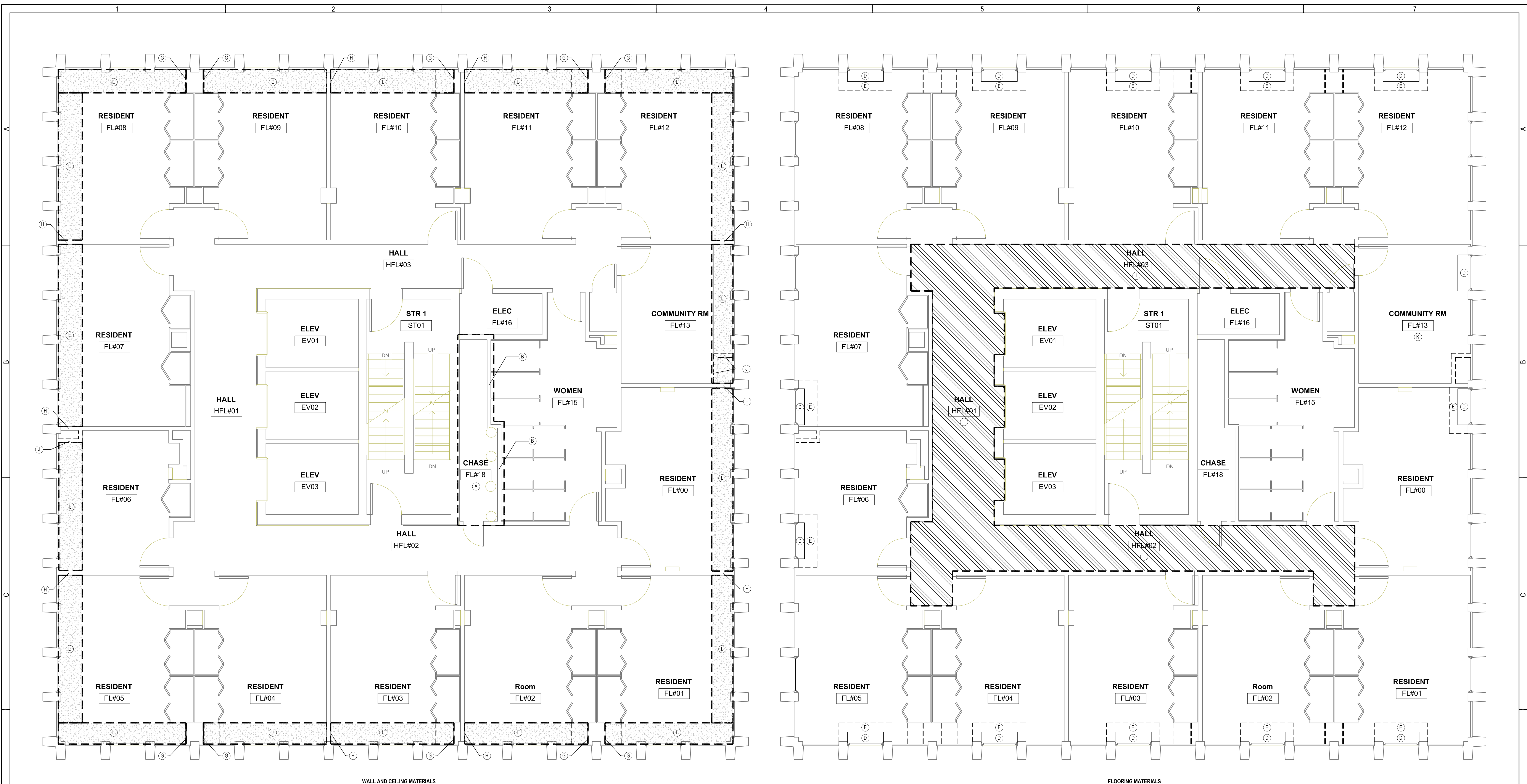
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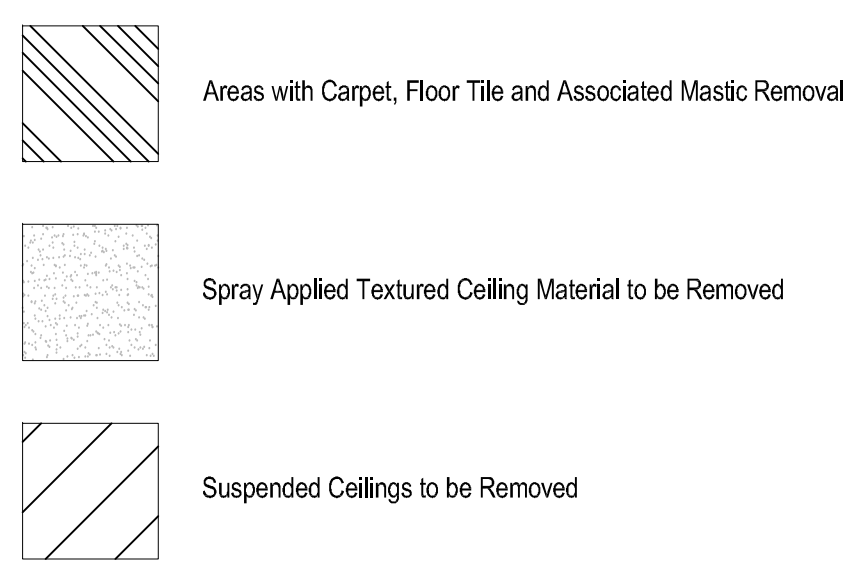
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WALL AND CEILING MATERIALS

FLOORING MATERIALS

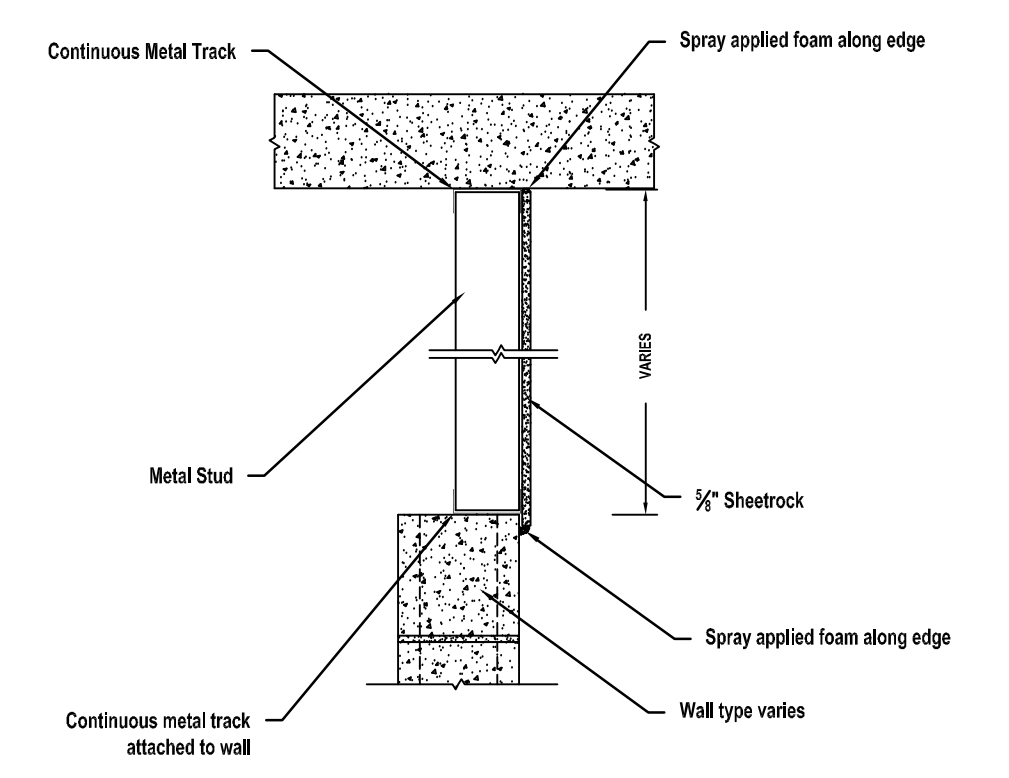


- Contractor shall thoroughly read all specifications and thoroughly review all construction documents prior to commencement of abatement activities.
- Contractor shall note that abatement operations associated with the mechanical renovations for the South Tower Residence Hall will be phased over two (2) summers.
  - Phase A shall be completed during the summer of 2013 and will include abatement work on the typical repeating dormitory floors 11 through 18, abatement of the main mechanical chases on floors 18 down to the ground floor and localized abatement of roofing components for structural alterations and installation of a new roof mounted HVAC unit. Abatement work tasks on the 11th floor will only include work tasks required to install mechanical systems piping to feed fan coils on the 12th floor. Fan coils on the 11th floor shall be maintained in operation at the completion of Phase A.
  - Phase B (Alternate 1) shall be conducted during the summer of 2014 and will include a continuation of abatement work on the typical repeating dormitory floors 2 through 11 as well as abatement work on the first floor and ground floor levels.
  - Alternate 2, if accepted, will include complete removal of the existing rolled shingle roof and associated flashing and mastics down to the original concrete deck and shall be completed during the Phase A abatement.
- Contractor shall thoroughly review project plans and specifications to clarify the sequencing of abatement operations associated with the specific work tasks for both Phase A and Phase B abatement operations.
- All notes herein are not designated on the plans. All notes listed herein apply whether designated on the plan or not.
- Contractor shall note that piping and ductwork shown on abatement drawings are a general schematic indication of the layout of those systems and are not to be used for estimating quantities.
- Contractor is responsible for actual quantities associated with the abatement and bid shall consist of all costs to include labor, materials and equipment necessary to complete the required abatement.
- Contractor shall thoroughly clean areas where abatement is to occur prior to abatement operations.
- Contractor shall be responsible for protecting and maintaining existing carpet throughout the main corridors on all floors of the building for the duration of the Phase A abatement operations. Costs for replacement of damaged carpet will be at the Contractors expense.
- Contractor shall paint the exposed underside of concrete slab ceiling from the new edge of the existing sprayed ceiling texture that remains in place to a line 12 inches past the new edge. Contractor shall use the following paint system in a color (white) to match the existing ceiling: First Coat: Sherwin-Williams Harmony Low Odor Interior Latex Primer, B11W900 (4 mils wet, 1.3 mils dry per coat). Second and Third Coats: Sherwin-Williams Harmony Low Odor Interior Latex Flat 85 Series (4 mils wet, 1.6 mils dry per coat). Contractor shall install one mock-up of painting the ceiling for review by the Owner prior to painting all the ceilings.

PHASE A ABATEMENT

- Contractor shall complete a friable abatement of main chase on all floors from the 18th floor down to the ground floor. Contractor shall begin on the top floor and work down to the first floor level. Contractor shall remove the following from all chases on all floors:
  - All ACM and non-ACM TSI found throughout the chase. (Est. 40 LF/Floor)
  - Gray Mud/Fire Stop at Floor and Ceiling Penetrations. (Est. 8 Locations/Floor)
  - TSI, Mudded Elbows and Joints on Mechanical Piping (Est. 35/Floor)
  - TSI, Black Mastic on Joints of Pipe Insulation
 Furthermore, all vertical and horizontal surfaces to included piping, metal ductwork, concrete floors and decking above and masonry walls throughout these chases shall be thoroughly cleaned of residual asbestos contamination, debris, and over spray from the original asbestos-containing spray applied textured ceiling material found throughout the building. Contractor is to be aware that exhaust ductwork in this space is to be maintained for reuse.
- Contractor shall construct a permanent vertical barrier between the chase and the area above the plaster bathroom ceiling. Contractor will install metal stud and drywall wall on top of existing wall to segregate area that may be contaminated with asbestos from the deteriorated elbows/ TSI etc. that is not to be abated from area that is to be abated. The permanent barrier shall be constructed as detailed herein and shall be air tight. See detail for Permanent Barrier Wall this sheet and Section 2.2 of the written specs for materials. (Est. 75 SF)
- Contractor shall remove existing fan coil units and associated wood trim and blocking from all dormitory rooms and the kitchen while under containment and dispose of them as ACM. Contractor shall remove all caulking from around perimeter of fan coil unit and dispose of as ACM. (Est. 14 Units)
- Contractor shall remove selective baseboard and associated adhesive and 9"x9" floor tile and associated mastic down to concrete deck around existing dormitory room fan coil units and vanities to be removed to the nearest full tile. Contractor shall coordinate with GC regarding actual stopping point for tile removal. All debris generated shall be disposed of as ACM. (Est. 25 SF/Room)
- Contractor shall remove existing metal soffits on floors 11 through 17 while under containment. Contractor shall remove and dispose of all piping and associated insulation found concealed by the soffits, both ACM and non-ACM TSI, as an ACM. (Est. 12 Soffits/Floor - 7 Floors)
- Contractor shall remove existing mirror and cut a penetration through existing back wood wall partition and associated chase utilities as noted on mechanical, plumbing and electrical drawings. Contractor shall protect adjacent casework and exterior Transite curtain wall panel. Contractor shall cut off sections of the existing mechanical systems piping large enough to allow for the installation of new piping and ductwork. All piping and associated insulation, both ACM and non-ACM, shall be handled and disposed of as ACM within this space. (Est. 10 Locations/Floor - 7 Floors)
- Contractor shall cut penetration through existing drywall partition wall while under containment to accommodate perimeter duct installation on floors 11 through 17. Contractor shall coordinate with GC regarding actual penetration locations and final dimensions. All debris generated shall be disposed of as an ACM. (Est. 10 Locations/Floor - 7 Floors)
- All areas of the main corridor has residual ACM black mastic under existing non-ACM carpet (Est. 625 SF) and associated adhesive. Non-ACM 12"x12" floor tiles (Est. 150 SF) and associated adhesive are under the carpet in front of the elevators. Contractor shall remove as non-friable all carpet, vinyl baseboard, floor tiles and associated adhesives throughout the main corridor and dispose of them as ACM. All residual ACM black mastic is to be completely abated down to concrete. (Est. 625 SF)

- Contractor shall remove existing drywall chase wall in its entirety from floor to ceiling and associated utilities as noted on mechanical, plumbing and electrical drawings while under containment. Contractor shall dispose of all debris, piping and associated insulation, both ACM and non-ACM TSI, as ACM. (Est. 200 SF Drywall Removal)
- Contractor shall remove sheet vinyl flooring and associated adhesive and the underlying layer of 9"x9" floor tile and associated mastic down to concrete deck throughout Community Room under containment. All debris generated shall be disposed of as an ACM. (Est. 150 SF)
- Contractor shall remove existing textured ceiling material to accommodate installation of new metal soffits. Textured ceiling removal will extend out from existing exterior wall 6' past the proposed soffit width. Textured ceiling removal will be completed under full containment. All debris generated will be disposed of as ACM. (Est. 35 SF/Location, Eighteen (18) Locations)



PERMANENT BARRIER WALL DETAIL - N.T.S.

DATE	DESCRIPTION	DATE	DATE	DATE	DATE
2/14/13					

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